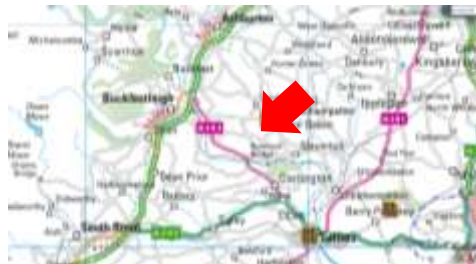


HUDSON & Co

SOUTH HAMS **MODERN COMMERCIAL UNIT**

41.42 sq.m 445 sq.ft

Plus Mezzanine & Parking



Unit 1 Commons Close Staverton TQ9 6AN

****Quiet Rural Position close to Staverton****

****Good access to Totnes & A38****

****Modern, Well Appointed Premises with Ample Parking****

****Opportunity to acquire Additional space if required****

****Flexible Terms / Competitive All Inclusive Rental ****

****Roller Shutter Loading Door ****

TO LET

01392 477497

Unit 1 Commons Close Staverton TQ9 6AN

LOCATION: Commons Close lies close to the busy A384 Totnes (4.5 miles) to Buckfastleigh / A38 (4 miles) road. The location offers a quiet rural position in the South Hams with good access to the A38 via Landscope or Buckfastleigh.

DESCRIPTION: The unit forms part of a group of buildings with easy access to the adjoining lane and having ample parking with a good-sized area for loading. Unit 1 is an end of a terrace, and is of single storey portal frame construction, with rendered blockwork walls and in part timber clad elevations, encompassing a useful workshop / warehouse with a good-sized roller shutter loading door to the front elevation. There is a shared toilet and washing facilities.

ACCOMMODATION: The accommodation offers useful space that will suit a variety of uses encompassing storage and manufacture, and that comprises of the following approximate areas and dimensions:

Ground Floor

| | | |
|--------|------------|-----------|
| Width: | 7.13m | |
| Depth: | 5.81m | |
| Area: | 41.42 sq.m | 445 sq.ft |

Mezzanine (Ladder Access)

| | | |
|-------|------------|-----------|
| Area: | 11.19 sq.m | 120 sq.ft |
|-------|------------|-----------|

Our clients would consider letting part of the adjoining buildings if required. All areas are approximate

SERVICES: We are advised that mains water, and electricity (single phase) are connected. Private drainage to a septic tank

RATES: To be assessed. We anticipate that the rateable value of the unit will be assessed well below the small business threshold for nil rates, and no charge will be payable if the occupier meets the qualifying requirements.

PLANNING / USE: The unit benefits from a planning consent for B1 & B8 uses. Prospective occupiers should address any planning enquiries to the local planning authority, South Hams District Council in Totnes. Tel. 01803 861234. Motor Trade is not allowed.

EPC: Full details on application.

TERMS: The unit is available To Let on a new lease for a length of term to be agreed at a commencing rental of £275 / month inclusive of water, electricity and drainage which is anticipated to be the total cost of occupation assuming nil rates. Full details on application

VAT: The rent is not subject to Vat.

LEGAL COSTS: The incoming tenant to pay a contribution towards the Landlord's legal costs associated with a letting.

VIEWING & FURTHER INFORMATION:

Strictly by prior appointment through the Sole Letting Agents:

HUDSON & Co. Contact: **DAVID EDWARDS / SUE PENROSE**
Tel: 01392 477 497 / 01548 831 313 / Email: info@hudsoncom.co.uk

Whilst every effort has been made to ensure the accuracy of these particulars, they are prepared for guidance only and do not form part of any contract

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